

Date: 14-11-24
Time: 17:13:09

General Notes

Dimensions provided shall take preference over scale. Contractor to verify all dimensions of Building Designer and Consultants drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that exceed the requirements stated in the general notes take precedence. Prior to any alterations or modifications of plans or details on site, Contractor(s), tradesperson(s), or homeowner(s) must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are for its most current edition or published revision thereto, as approved by ministerial order by the Province of British Columbia. Any reference to a dated edition or revision is to be assumed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be executed by skilled tradespersons, well equipped and adequately supervised. All references to the BCBC is to Division B of the British Columbia Building code unless otherwise noted.

Surveyor and/or Contractor to confirm all aspects of siting and placement of structure on lot. Designer not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code an engineer(s) may be necessary and such services are for the owner's account.

All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.G.S.B. and B.C.B.C. standards. All materials shall be used strictly according to manufacturers printed directions, where not inconsistent with this specification; no dilution permitted except where specified. House to be built to Step 3 of the BC Energy Step Code.

Demolition

Contractor is liable to maintain the strength and stability of existing structure where renovations and/or additions are proposed. Including but not limited to providing and installing all shoring and props to uphold existing construction. All demolition work must comply with the requirements presented in part 8 of the B.C.B.C. and with WORKSAFEBC.

Structural Design

Structural is based on criteria stated in Part 9 of the BCBC B.C. Building Code. Design live loads as follows:

Design main floor load	- 41.8 p.s.f. -	2.00 kPa
Design bedroom floor load	- 41.8 p.s.f. -	2.00 kPa
Design decks and balconies	- 62.7 p.s.f. -	3.00 kPa
Design roof load	- 62.7 p.s.f. -	3.00 kPa

For heavier snow loading, drawings must be revised. All interior and exterior wall bracing to resist lateral loads to comply with B.C.B.C 9.23.13, and to be designed by structural engineer unless noted elsewhere. Structural Engineering and truss manufactures drawings to take precedence over structural design stated within.

Concrete

All concrete used for footings and foundations is to be not less than 15 MPa @ 28 days unless otherwise noted. All concrete used for floors is to be not less than 20 MPa @ 28 days unless otherwise noted. All concrete used for carport, garage floors and exterior steps to be a min. 32 MPa @ 28 days. Exterior stairs, garage and carport slabs air entrainment of 5-8% required. All foundations and footings to be carried down to solid undisturbed bearing.

Rough Carpentry

All construction and materials to comply with the "approved" current issue and amendments of C.W.C. and B.C.B.C. Pre-Manufactured homes and walls to comply with B.C.B.C. and C.S.A. requirements. All structural framing members are sized for standard grade No. 2 better Spruce-Pine-Fir (in accordance with N.L.G.A. standard grading rules for Canadian Lumber) except where specifically noted otherwise. Framing contractor is to provide backing for all plumbing accessories, shelving, curtain rods, cabinets, etc. Contractor shall be responsible for the proper setting out of all work and ensure no eccentric loads occur.

Electrical Panel

Electrical Facilities to comply with B.C.B.C. 9.34 and 9.36. All electrical facilities, panels, lighting and any fixed equipment shall comply with the Canadian Electrical Code, BCBC 9.34 and 9.36, and shall be installed by a certified electrician. A registered professional to design and/or verify work as required by the local authority having jurisdiction.

Fire Safety

All concealed spaces to be fireblocked in compliance with B.C.B.C. 9.10.16. Fire block materials to comply with B.C.B.C. 9.10.16.3.

All rated partition walls to have solid blocking installed over within floor joist cavity. Contractor to ensure all rated partition walls to run uninterrupted to underside of roof sheathing. Rated wall assemblies must run continuous behind tub surrounds and stairs and must contain solid fire blocking continuous at interface with rated horizontal floor assemblies. No combustible plumbing is to be installed in rated wall assemblies. All penetrations in rated wall assemblies to be fire protected and caulked. All doors, dampers & other closures in fire separations must comply with B.C.B.C. 9.10.13.

All duct chases must not penetrate rated wall assemblies and are to be directed to exterior within self-contained suite.

Doors, Windows, And Skylights

All windows, doors, and skylights to meet the requirements laid forth in B.C.B.C. 9.7, and 9.36.

All manufactured windows, doors and skylights to comply B.C.B.C 9.4.7.1.(1)(a) and with AAMA/WDMA/CSA 101/15.2/A440,"NAFS-North American Fenestration Standard/Specification for Windows, Doors, and Skylights", & A440S1-09 "Canadian Supplement to... ..NAFS..."

The following window requirements are derived from B.C.B.C. Table C-5 as per B.C.B.C 9.7.4.3, and are to be used to satisfy the requirements of "NAFS": Langford, CLASS R, DP 960, PG 20, WATER RESIST. 220, A2.

Minimum Thermal Resistance ratings of windows as per B.C.B.C 9.36.

Windows and Doors	- U 0.32 -	1.80 USI
Front Entrance Door	- U 0.46 -	2.60 USI
Glass Block	- U 0.51 -	2.90 USI
Skylight	- U 0.51 -	2.90 USI
Skylight shaft walls	- R 15.79 -	2.78 RSI
Overhead Garage Doors	- R 6.25 -	1.10 RSI

Refer BC Energy Compliance Report for thermal resistance rating of all windows and door to be using in this structure.

Site built doors and windows to comply with B.C.B.C 5.10.2, and 9.36.2.7.(3) Flashing to be above all doors and windows not directly protected by eaves. Limited Water doors are to be used for exterior garage utility doors and the door(s) separating the residence and the garage, and wherever allowed by B.C.B.C. 9.7.4.2.(2) All interior doors to clear finish flooring by 12mm (1/2") to allow for unobstructed air distribution.

Insulation and Vapour Barrier

Refer to the "Cross-Section Notes" for Walls, Roof(s) and Floor(s) assemblies used in this building. Insulation values are not to be decreased below required levels at any point around major penetrations, wall-floor connections, window and door headers, behind electrical breaker boxes, or around plumbing and ducting in walls. See BC Step Code Compliance Checklist provided by a certified energy advisor for calculated assembly values.

Insulation Values are based of those supplied within the "BC STEP CODE COMPLIANCE CHECKLIST PERFORMANCE PATHS FOR PART 9 BUILDINGS"

Window and door headers to be insulated with 44mm (2 1/2") extruded polystyrene insulation, where possible. Spray applied polyurethane insulation (medium density) to comply with CAN/ULC-S705.1 and be installed in accordance with CAN/ULC-S705.2 (Decks over living space)

Vapour Barriers to comply with BCBC 9.25.4. Extruded Polystyrene to comply with BCBC 9.25.4.2.(6) to fulfill the requirements of a vapour barrier. Tape all seams and fill with spray applied insulation at perimeters to prevent air penetration where required. 6 MIL polyethylene vapour barrier to be supplied uninterrupted around all openings, and to be structurally supported by being attached to studs, light fixtures, and plugs. Contractor to supply blocking as required.

Mechanical

Plumbing installation shall comply with B.C.B.C. Part 7, B.C.B.C. 9.31, 9.36.4, and the "Canadian Electrical Code". Plumbing contractor is to allow for (min.) 2 exterior hose bibs at convenient locations. Contractor to provide 1 hot water heater, of type listed below, inside the main residence or in location shown on plans. Hot water heater to be secured to structure with metal straps designed to resist lateral loads.

Refer to BC Step Code Compliance Checklist for Mechanical Energy Use Intensity (MEUI) & Thermal Energy Demand Intensity (TEDI) compliance. The following numbers are the minimum prescriptive requirements set within BCBC 9.36.4.

Hot Water Heater (Primary Residence): (Tankless Type-Gas) See B.C.B.C. Table 9.36.4.2 Input ≤ 73.2 kW, Performance Standard(s): CAN/CSA-P-7 Performance Requirement(s): EF ≥ 0.8 Input > 73.2 kW, Performance Standard(s): ANSI Z21.10.3/CSA 4.3 and DOE 10 CFR, Part 431, Subpart G Performance Requirement(s): Et ≥ 80%

Heating and/or air conditioning systems are to comply with B.C.B.C. 9.32.3., 9.36.3, and 9.32.3.3. All duct sizes, fans and ventilation requirements to be verified prior to installation and to install to manufacturers specs. Main residence to use a heat pump system designed by manufacturer to comply with B.C.B.C. 9.32.3.4.(2) and to provide fresh air at 35 litres per second continuous @ 50pa external static pressure. A licensed mechanical tradesperson(s) to size and install ducts for heat pump system and to provide any required ventilation checklist(s).

One air handler to be located in the master bedroom walk in closet ceiling, truss manufacturer to raise trusses 16" to conceal in closet area. Another air handler to be located in the garage or another suitable location determined on site by installer or system designer.

The Following Requirements are the minimum prescriptive requirements set by 9.36.3. See the Energy compliance report for how these actual MEUI of the building. See the General Contractor/owner for the mechanical systems specification sheets and actual SEER, EER, and energy compliance numbers.

Heat Pump (split system): See B.C.B.C. Table 9.36.3.10. Heating or Cooling Capacity: ≤ 19 kW Standard: CAN/CSA-C656 Performance Requirements: SEER = 14.5, EER = 11.5 HSPF = 7.1 (region 5 in standard)

Heat pump (all systems): See B.C.B.C. Table 9.36.3.10. Heating or Cooling Capacity: > 19 kW Standard: CAN/CSA-C746 Performance Requirements: See Level 2 in standard

All Fans and ducts are to meet the minimum requirements of the B.C.B.C. and manufacture. Fan and duct sizes provided are minimums as per the BCBC 9.32, for the spaces. Mechanical tradesperson to verify actual sizes, speeds and location of fans and ducts on site.

Kitchen fan: See B.C.B.C. Table 9.32.3.6., Table 9.32.3.8.(3). 47 Litres per second intermittent @ 50pa external static pressure Duct size (Diameter): 125mm rigid, 150mm flexible. Duct shall be noncombustible, corrosion resistant and cleanable, equipped with a grease filter at air intake, and not exceed 12m and 2 elbows. (Equivalent length of 28m)

Fan 1 (Bathroom Fan) See B.C.B.C. Table 9.32.3.6., Table 9.32.3.8.(3). 23 Litre per second intermittent or 9 Litre per second continuous @ 50pa External static pressure. Duct size (Diameter): 100mm rigid, 125mm flexible. Intermittent control to be wall mounted on/off switch. Duct not to exceed 16m and 2 elbows. (Equivalent length of 32m)

Fan 2 (Principal Exhaust Fan) See B.C.B.C. Table 9.32.3.5. Table 9.32.3.8.(3). Main Residence: 35 litres per second (75 cfm) continuous @ 50pa External static pressure Size (Diameter):100mm rigid, 125mm flexible. Size (Area): 79cm2 rigid, 123cm2 flexible. Duct not to exceed 5m and 0 elbows. (Equivalent length of 15m) Fan to run continuously, with on/off switch wall mounted beside the electrical breaker panel. Contractor to ensure switch is labelled "PRINCIPAL VENTILATION EXHAUST FAN". If fan is mounted in a bathroom contractor to ensure fan includes control for both a standard bathroom fan as well as for the principal ventilation located in separate places. Fan to have a sound rating of 1.0 sones or less.

British Columbia Step Code Compliance

This building is designed to be constructed under Step 3 of the British Columbia Step Code and complies with British Columbia Building Code 9.36.6. See Energy Compliance Report for information regarding the thermal resistance of the building envelope such as the TEDI and resistance calculations of the assemblies contained within.

Mechanical & Special Notes For Secondary Suites

Secondary suites to comply with B.C.B.C. 9.10.9.14, Sound Transmission between secondary suite and primary dwelling unit to comply with 9.11.1.1.(2)(b) (43 STC min. with resilient channels).

Heating and/or air conditioning systems are to comply with B.C.B.C. 9.32.3. and 9.36.3. All duct sizes, fans and ventilation requirements to be verified prior to installation and to install to manufacturers specs. Secondary suite to be heated by an electric baseboard heating system. Heat Recovery Ventilator (HRV) to be installed to provide ventilation. Baseboard heaters to be installed to provide heating. A licensed mechanical tradesperson to verify, size, install, and provide mechanical checklist to local authority having jurisdiction. Interconnected smoke alarms to be installed in both the secondary suite and the primary residence in compliance with B.C.B.C. 9.10.9.14(4)(c) & 9.10.19.5(1) and 9.10.19.5(3)(a). Fire separation between primary dwelling and secondary suite to have a 45 minute F.R.R. unless noted elsewhere. Door(s) between primary dwelling and secondary suite to be a solid core wood door and have a self-closing device in compliance with B.C.B.C. 9.10.9.3. Door(s) to have bolt lock hardware installed with bolt turn on the property owner side.

Secondary suite Primary Exhaust Fan on/off switch to be mounted in the primary residence. On/Off switches to be labeled "PRIMARY EXHAUST FAN SUITE". All duct chases must not penetrate rated wall assemblies and are to be directed to exterior within self-contained suite.

Hot Water Heater (Secondary Suite): (Storage Type-Electric) See B.C.B.C. Table 9.36.4.2 Size:152L (40 imp. gal.), Input 240VAC, ≤12kW, Performance Standard(s): CAN/CSA-C191 Performance Requirement(s): Standby loss (max.): 55 (Top Inlet), 70 (Bottom Inlet)

Water line to have separate shut off valves for main and suite. No combustible plumbing to penetrate the underside of a rated ceiling assemblies.

Kitchen fan: See BCBC Table 9.32.3.6., Table 9.32.3.8.(3). 47 Litre per second intermittent @ 50pa external static pressure Duct size (Diameter): 125mm smooth, 150mm flexible. Duct shall be noncombustible, corrosion resistant and cleanable, equipped with a grease filter at air intake, and not exceed Equivalent length of 32m

Fan 3* - Principal Exhaust / Bathroom Fan: See BCBC Table 9.32.3.5. Table 9.32.3.8.(3). 23 Litre per second (50 cfm) intermittent and 14 Litre per second continuous @ 50pa External static pressure Duct size Size (Diameter): 125 mm (5") flexible, 100 mm (4") rigid, for equivalent length of 32m (105'). Fan to have a sound rating of 1.0 sones or less.

* Fan to run continuously, with on/off switch wall mounted beside the electrical breaker panel. Contractor to ensure switch is labelled: "PRINCIPAL EXHAUST FAN SUITE"

Soil Gas Control

Soil Gas Control to comply with BCBC 9.13.4. Rough-in radon gas vent to be installed as per 9.13.4.3, and to have a cap that is labelled "RADON GAS". Vent rough-in to comply with BCBC 9.13.4.3. to be installed in a location to permit extension to the top of roof (to comply with CAN/CGSB-149.1, Section 7.2.4.6) or side-wall discharge near ground level with indoor fan (to comply with CAN/CGSB-149.1, Section 7.3.4) All penetration through the slab are to be sealed including the penetrations around the radon gas vent rough-in.

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LIST OF DRAWINGS

A1	General Notes
A2	Site plan
A3	Elevations
A4	Foundation
A5	Lower Floor
A6	Main Floor
A7	Upper Floor
A8	Cross Section
D1	Rainscreen Details
D2	Rainscreen Details

ISSUED/REVISED

01	10/02/24	Check Set for Client review
02	10/29/24	Check Set for Client review
03	11/14/24	Revised for BP



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DATE	Nov 13, 2024	DRWG NO.	8524 - 26
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SCALE	As Shown	SHT. NO.	A1 / A8

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PROJECT

PROPOSED RESIDENCE:
Langdon Weir Construction
Lot 26 - Latoria Terrace
2161 & 2163 Bellflower Dr.
Langford BC

SKETCH PLAN OF:

Proposed Lot 26 Latoria Terrace

Parcel Identifier: TBD

LEGEND

Elevations are geodetic referred to Lanford Integrated Survey

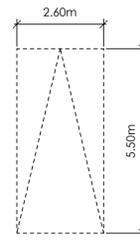
- denotes Green Space

SITE DATA	R2	LOT 26
ITEMS	PERMITTED	PROPOSED
LOT AREA		501.70 sq.m.
LOT COVERAGE	50.00 %	34.15 %
HEIGHT	11.00 m.	8.71 m.
SETBACKS		
- FRONT (E)	3.00 m.	8.46 m.
- REAR (W)	3.00 m.	5.62 m.
- SIDE (N)	1.20 m.	1.20 m.
- SIDE (S)	3.00 m.	3.09 m.
- GARAGE	5.50 m.	9.07 m.
FLOOR AREA		
- UPPER		169.98 sq.m.
- MAIN		162.76 sq.m.
- LOWER		104.68 sq.m.
- GARAGE		42.90 sq.m.
TOTAL FLOOR AREA		480.32 sq.m.

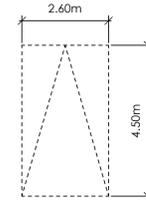
LEGEND

Elevations are geodetic referred to Lanford Integrated Survey

- denotes Green Space

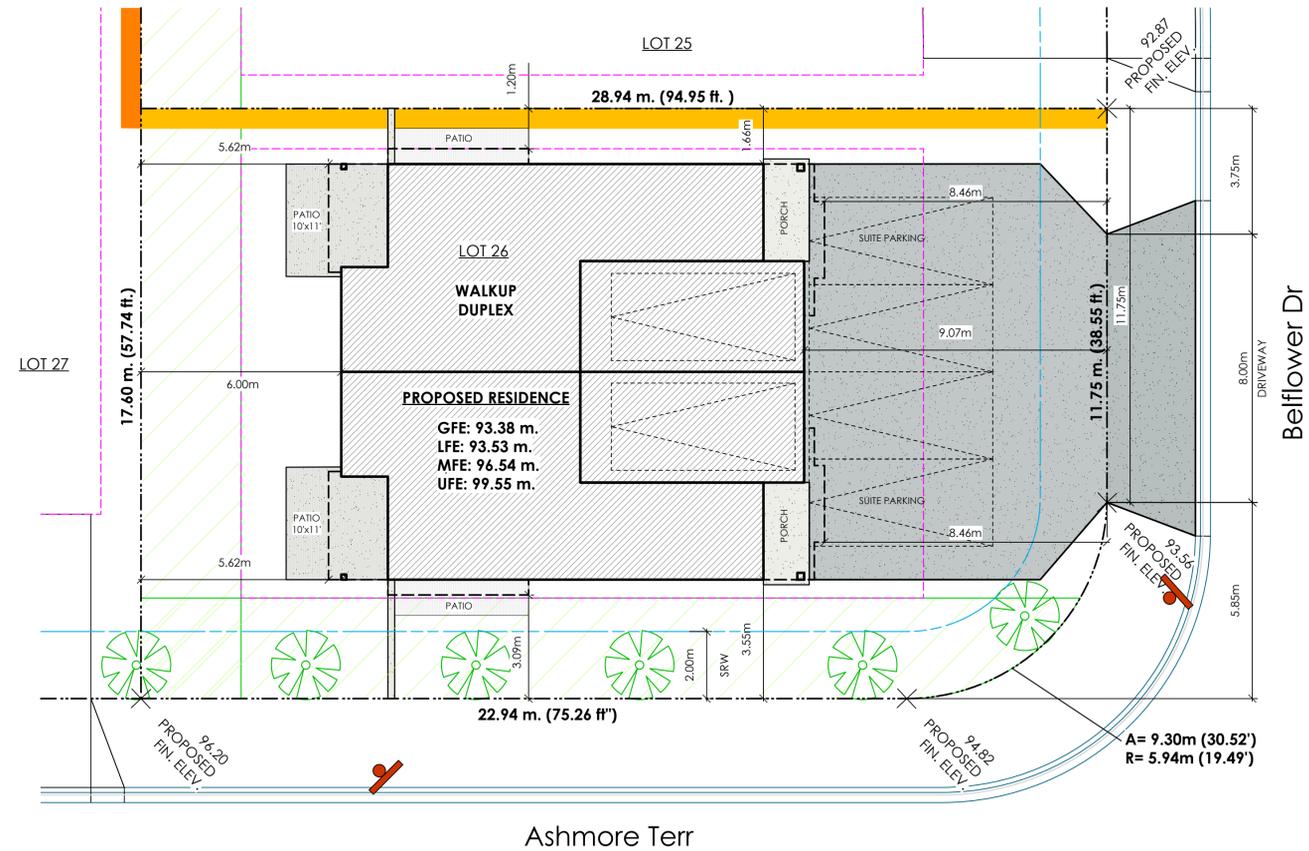


PARKING STALL DIMENSIONS



SMALL CAR PARKING STALL DIMENSIONS

* as per 2.2.02a allowing one stall to be a small car parking stall



1 Siteplan
A2 Scale: 1/4" = 1'-0"

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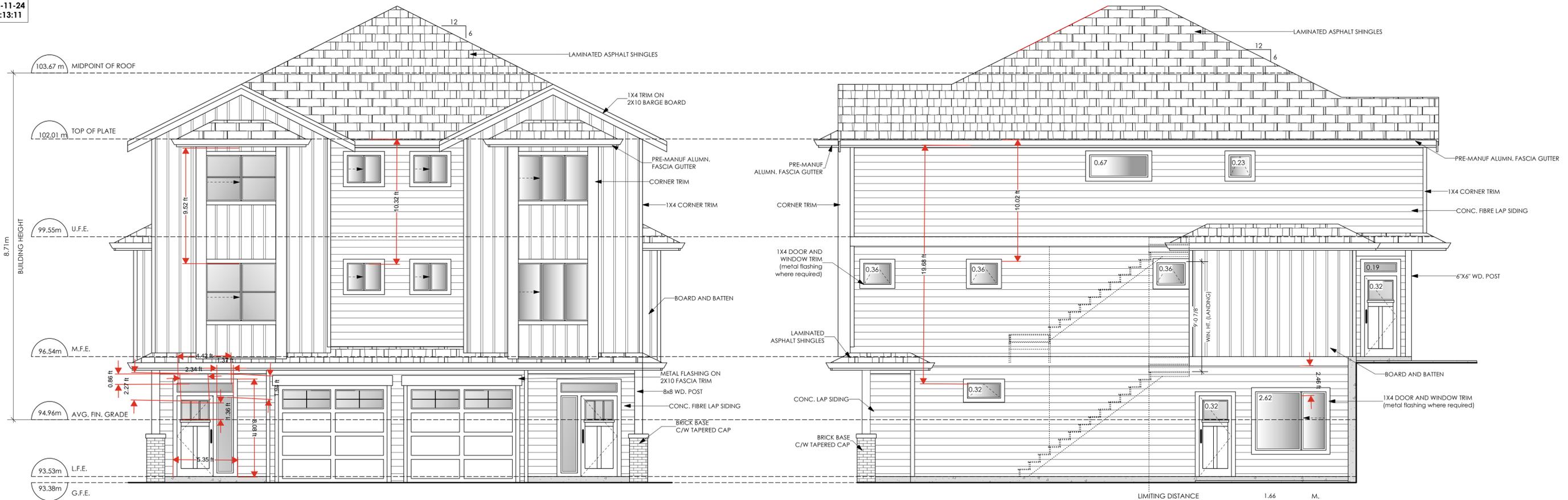
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DATE	NO.	DESCRIPTION
Nov 13, 2024	8524 - 26	

SCALE	SHEET NO.	TOTAL SHEETS
As Shown	A2	8

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PROPOSED RESIDENCE:
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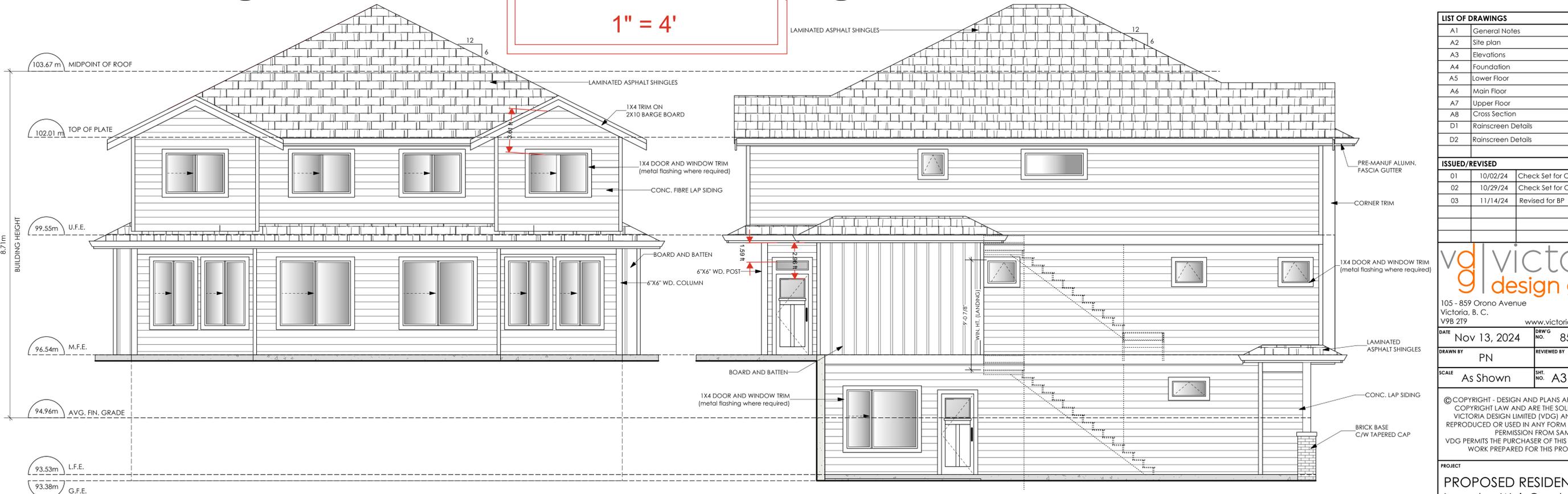


1 Front Elevation
A3 Scale: 1/4" = 1'-0"

2 Right Side Elevation
A3 Scale: 1/4" = 1'-0"

SCALE ADJUSTMENT
1" = 4'

LIMITING DISTANCE	1.66	M.
EXPOSED BUILDING FACE	117.62	SQ.M.
ALLOWABLE OPENINGS	7.00	%
ALLOWABLE OPENING AREA	8.23	SQ.M.
PROPOSED OPENINGS	5.75	SQ.M.



3 Rear Elevation
A3 Scale: 1/4" = 1'-0"

4 Left Side Elevation
A3 Scale: 1/4" = 1'-0"

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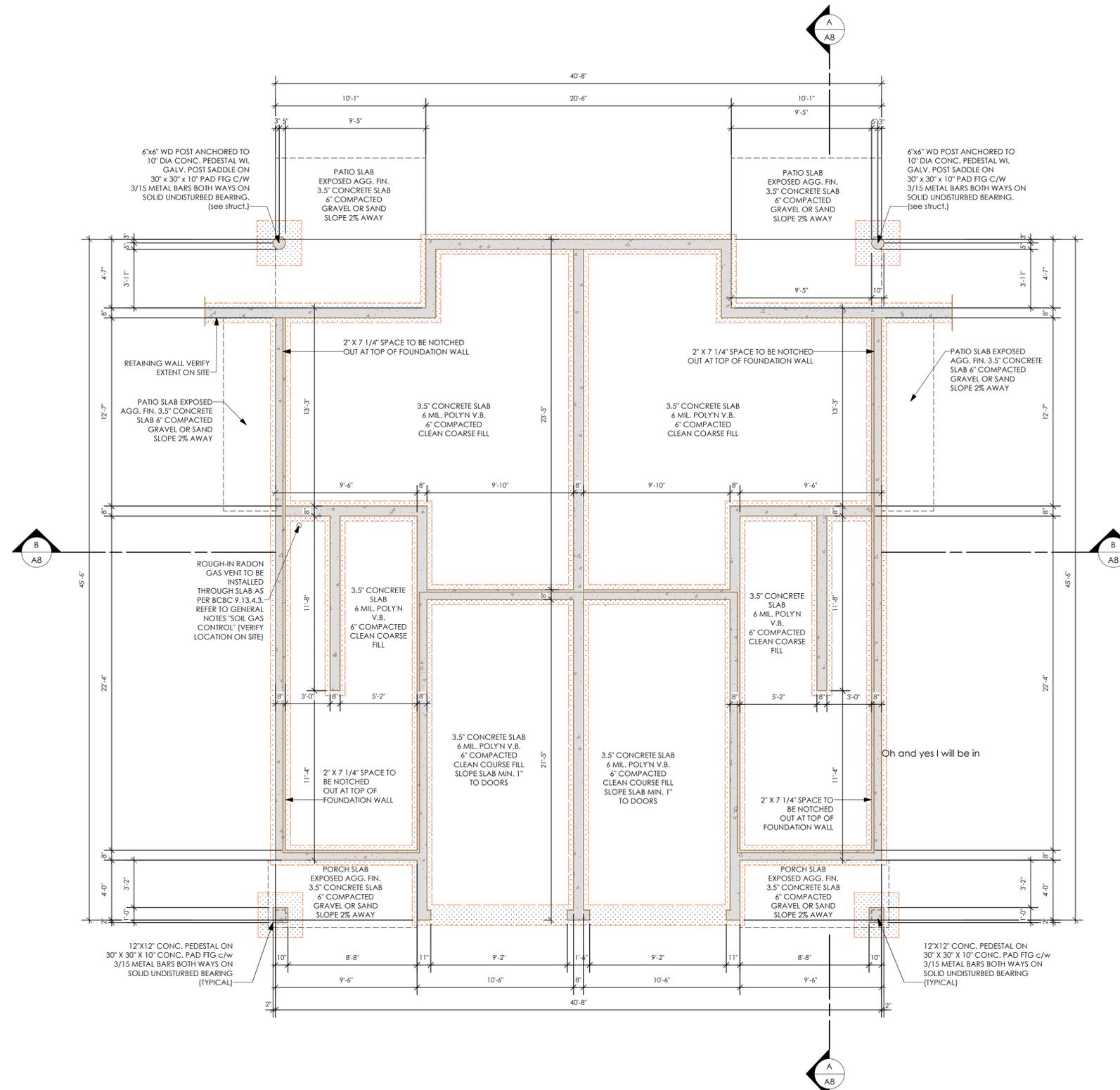
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1
A4 Foundation Plan
Scale: 1/4" = 1'-0"

NOTE:
ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BUILDING CODE 9.23.13. AND SUPPLY DETAILS IF REQUIRED

STRUCTURAL WOOD ELEMENTS WITHIN 150MM (6") FROM FINISHED GROUND LEVEL SHALL BE PRESSURE TREATED WITH A PRESERVATIVE FOR TERMITE AND DECAY PROTECTION B.C.B.C. 9.3.2.9.(3)

SYMBOLS & WALL LEGEND

- 2 X 4 INTERIOR & FURRING
- 2 X 6 EXTERIOR & INTERIOR
- RATED WALL (SEE ASSEMBLIES)
- 8" THK. CONC. FOUNDATION WALL
- 16" X 8" CONC. STRIP FOOTING

- BUILT-UP WOOD POST
- BUILT-UP WOOD POST TO SUPPORT LOAD FROM ABOVE
- POINT LOAD ON BEAM FROM ABOVE

DOOR SCHEDULE

- | | |
|-----|----------------------|
| (F) | 210 X 68 (34" X 80") |
| (A) | 80 X 68 (16" X 80") |
| (B) | 60 X 68 (72" X 80") |
| (C) | 50 X 68 (60" X 80") |
| (D) | 40 X 68 (48" X 80") |
| (E) | 30 X 68 (36" X 80") |
| (G) | 28 X 68 (32" X 80") |
| (H) | 26 X 68 (30" X 80") |
| (I) | 24 X 68 (28" X 80") |
| (J) | 24 X 68 (28" X 80") |
| (K) | 20 X 68 (24" X 80") |
| (L) | 16 X 68 (18" X 80") |

WINDOWS & DOORS

ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC 9.9.10.1 (EGRESS) FOR BEDROOMS WITHOUT AN EXTERIOR DOOR (EXIT)
VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING

MECHANICAL FAN(S) & VENT(S)

- [1] Bathroom Fan:
23L/s (50 CFM) intermittent
9 L/s (20 CFM) continuous
 - [2] Principal Exhaust Fan:
35L/s (75 CFM) continuous
 - [3] Principal Exhaust & Bathroom Fan For Suite:
23 L/s (50 CFM) intermittent
14 L/s (30 CFM) continuous
- Refer to general notes

- [4] Interconnected Smoke detectors to comply with BCBC 9.10.19.
Interconnected Carbon Monoxide detectors to comply with BCBC 9.32.4.2.
- [5] Interconnected Photoelectric Smoke Alarms to comply with BCBC 9.37.2.19 (1) and (2)

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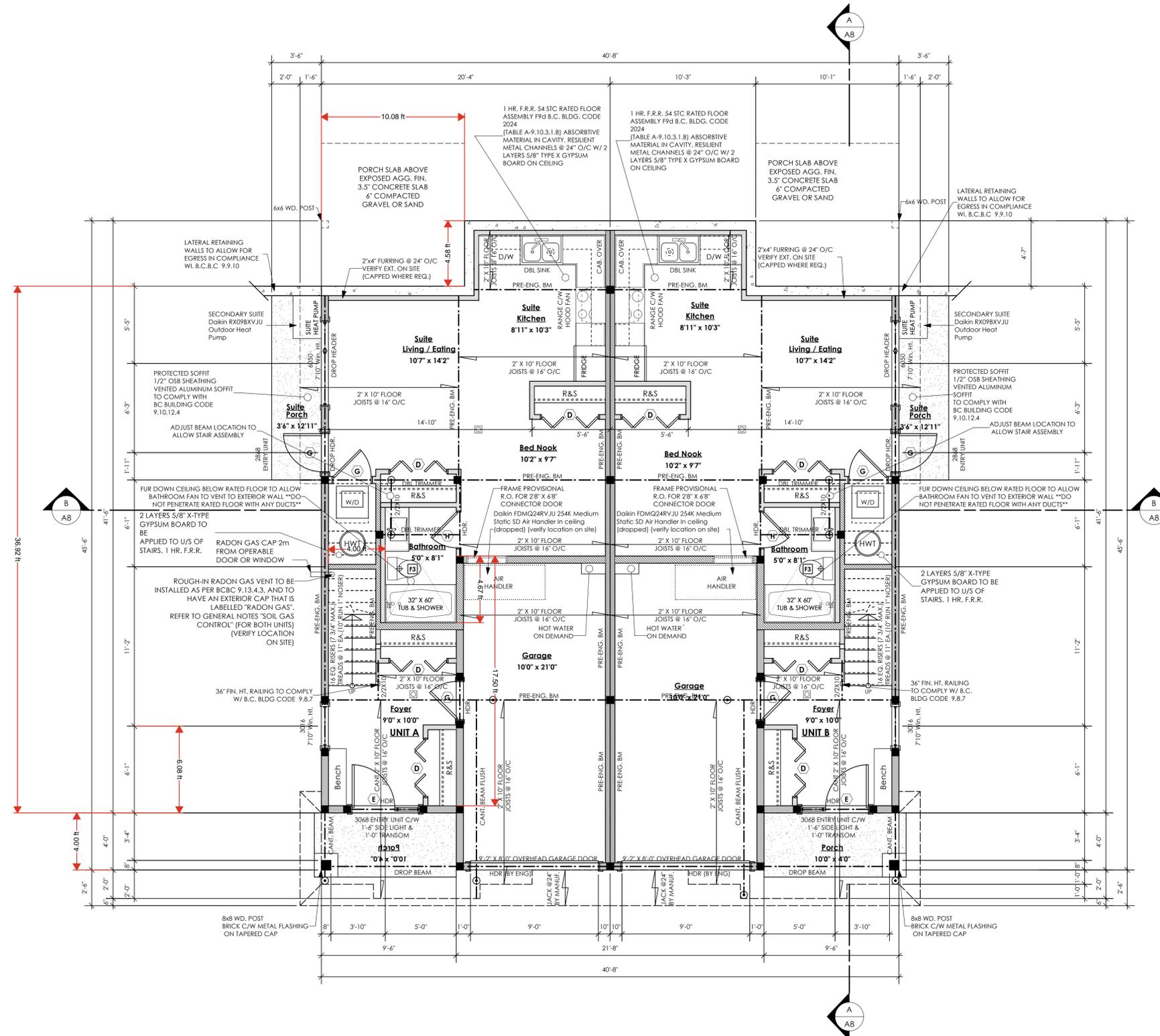


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1 Lower Floor Plan
A5 Scale: 1/4" = 1'-0"

UNIT A	UNIT B
PRIMARY LIVING: 11.88 SQ.M. (127.88 SQ.FT.)	PRIMARY LIVING: 11.88 SQ.M. (127.88 SQ.FT.)
SECONDARY SUITE: 40.46 SQ.M. (435.51 SQ.FT.)	SECONDARY SUITE: 40.46 SQ.M. (435.51 SQ.FT.)
TOTAL LIVING: 52.34 SQ.M. (563.38 SQ.FT.)	TOTAL LIVING: 52.34 SQ.M. (563.38 SQ.FT.)
GARAGE: 21.45 SQ.M. (230.88 SQ.FT.)	GARAGE: 21.45 SQ.M. (230.88 SQ.FT.)

SYMBOLS & WALL LEGEND

- 2 X 4 INTERIOR & FURRING
- 2 X 6 EXTERIOR & INTERIOR
- RATED WALL (SEE ASSEMBLIES)
- 8" THK. CONC. FOUNDATION WALL
- 16" X 8" CONC. STRIP FOOTING

- BUILT-UP WOOD POST
- BUILT-UP WOOD POST TO SUPPORT LOAD FROM ABOVE
- POINT LOAD ON BEAM FROM ABOVE

DOOR SCHEDULE

(F)	210 X 68 (34" X 80")
(A)	80 X 68 (96" X 80")
(B)	60 X 68 (72" X 80")
(C)	50 X 68 (60" X 80")
(D)	40 X 68 (48" X 80")
(E)	30 X 68 (36" X 80")
(G)	28 X 68 (32" X 80")
(H)	26 X 68 (30" X 80")
(I)	24 X 68 (28" X 80")
(K)	20 X 68 (24" X 80")
(L)	16 X 68 (18" X 80")

WINDOWS & DOORS
ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC 9.9.10.1 (EGRESS) FOR BEDROOMS WITHOUT AN EXTERIOR DOOR (EXIT) VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING

- MECHANICAL FAN(S) & VENT(S)**
- [F1] Bathroom Fan: 23L/s (50 CFM) intermittent 9 L/s (20 CFM) continuous
 - [F2] Principal Exhaust Fan: 35L/s (75 CFM) continuous
 - [F3] Principal Exhaust & Bathroom Fan For Suite: 23 L/s (50 CFM) intermittent 14 L/s (30 CFM) continuous
- Refer to general notes

- [S1] Interconnected Smoke detectors to comply with BCBC 9.10.19. Interconnected Carbon Monoxide detectors to comply with BCBC 9.32.4.2.
- [S2] Interconnected Photoelectric Smoke Alarms to comply with BCBC 9.37.2.19 (1) and (2)

LIST OF DRAWINGS

A1	General Notes
A2	Site plan
A3	Elevations
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A5	Lower Floor
A6	Main Floor
A7	Upper Floor
A8	Cross Section
D1	Rainscreen Details
D2	Rainscreen Details

ISSUED/REVISED

01	10/02/24	Check Set for Client review
02	10/29/24	Check Set for Client review
03	11/14/24	Revised for BP

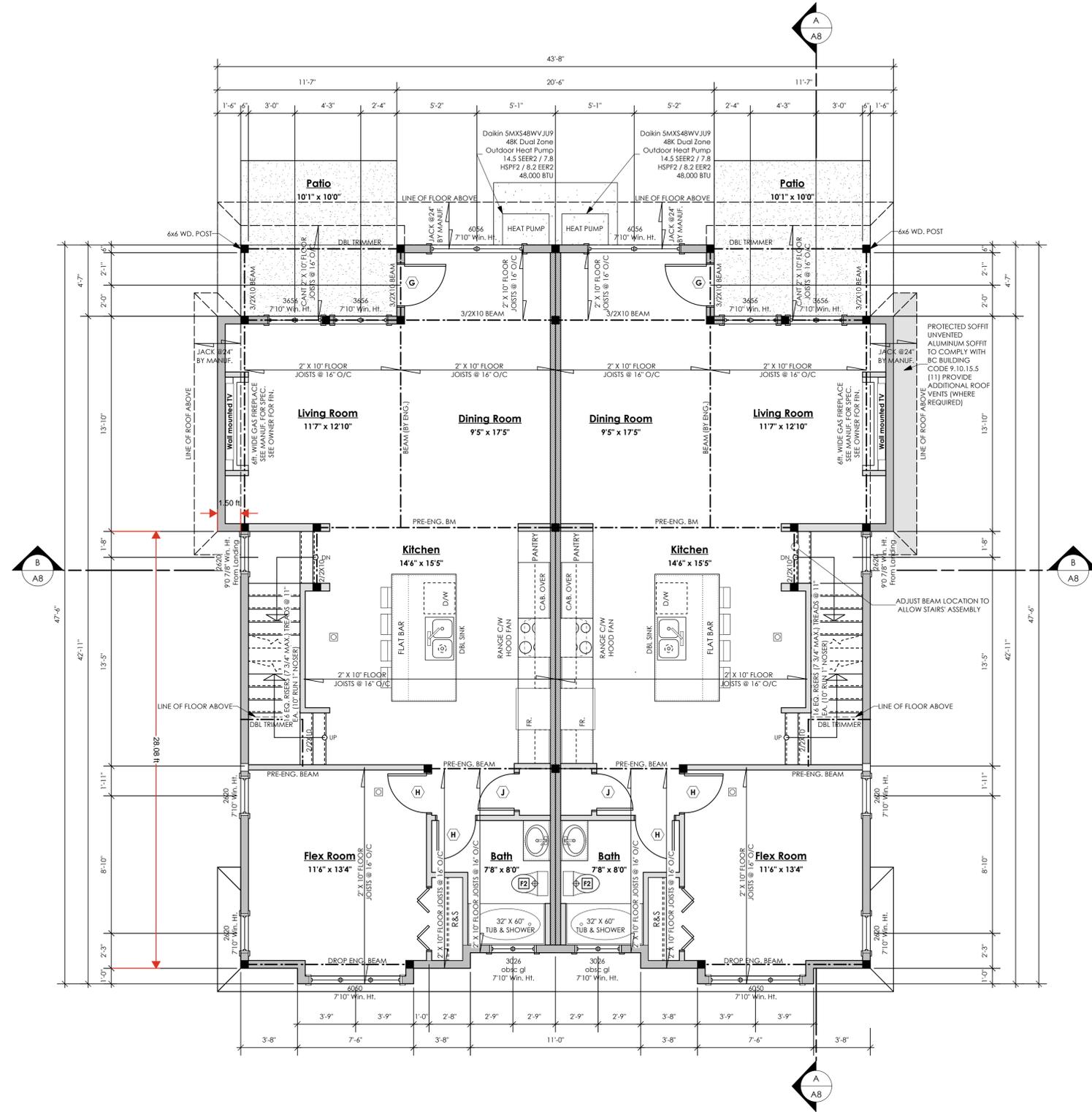


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DATE	Nov 13, 2024	DWG NO.	8524 - 26
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SCALE	As Shown	SHT. NO.	A5 / A8

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PROJECT
PROPOSED RESIDENCE:
Langdon Weir Construction
Lot 26 - Latoria Terrace
2161 & 2163 Bellflower Dr.
Langford BC



1 Main Floor Plan
A6 Scale: 1/4" = 1'-0"

UNIT A PRIMARY LIVING 81.38 SQ.M. (875.97 SQ.FT.) UNIT B PRIMARY LIVING 81.38 SQ.M. (875.97 SQ.FT.)

SYMBOLS & WALL LEGEND

- 2 X 4 INTERIOR & FURRING
- 2 X 6 EXTERIOR & INTERIOR
- RATED WALL (SEE ASSEMBLIES)
- 8" THK. CONC. FOUNDATION WALL
- 16" X 8" CONC. STRIP FOOTING
- BUILT-UP WOOD POST
- BUILT-UP WOOD POST TO SUPPORT LOAD FROM ABOVE
- POINT LOAD ON BEAM FROM ABOVE

DOOR SCHEDULE

- (F) 210 X 68 (34" X 80")
- (A) 80 X 68 (96" X 80")
- (B) 60 X 68 (72" X 80")
- (C) 50 X 68 (60" X 80")
- (D) 40 X 68 (48" X 80")
- (E) 30 X 68 (36" X 80")
- (G) 28 X 68 (32" X 80")
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- (J) 24 X 68 (28" X 80")
- (K) 20 X 68 (24" X 80")
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WINDOWS & DOORS

ONE WINDOW PER BEDROOM TO COMPLY WITH BCBC 9.9.10.1 (EGRESS) FOR BEDROOMS WITHOUT AN EXTERIOR DOOR (EXIT)
VERIFY WINDOW OPERATIONS WITH OWNER PRIOR TO ORDERING

MECHANICAL FAN(S) & VENT(S)

- (1) Bathroom Fan:
23L/s (50 CFM) intermittent
9 L/s (20 CFM) continuous
- (2) Principal Exhaust Fan:
35L/s (75 CFM) continuous
- (3) Principal Exhaust & Bathroom Fan For Suite:
23 L/s (50 CFM) intermittent
14 L/s (30 CFM) continuous

Refer to general notes
 Interconnected Smoke detectors to comply with BCBC 9.10.19.
 Interconnected Carbon Monoxide detectors to comply with BCBC 9.32.4.2.
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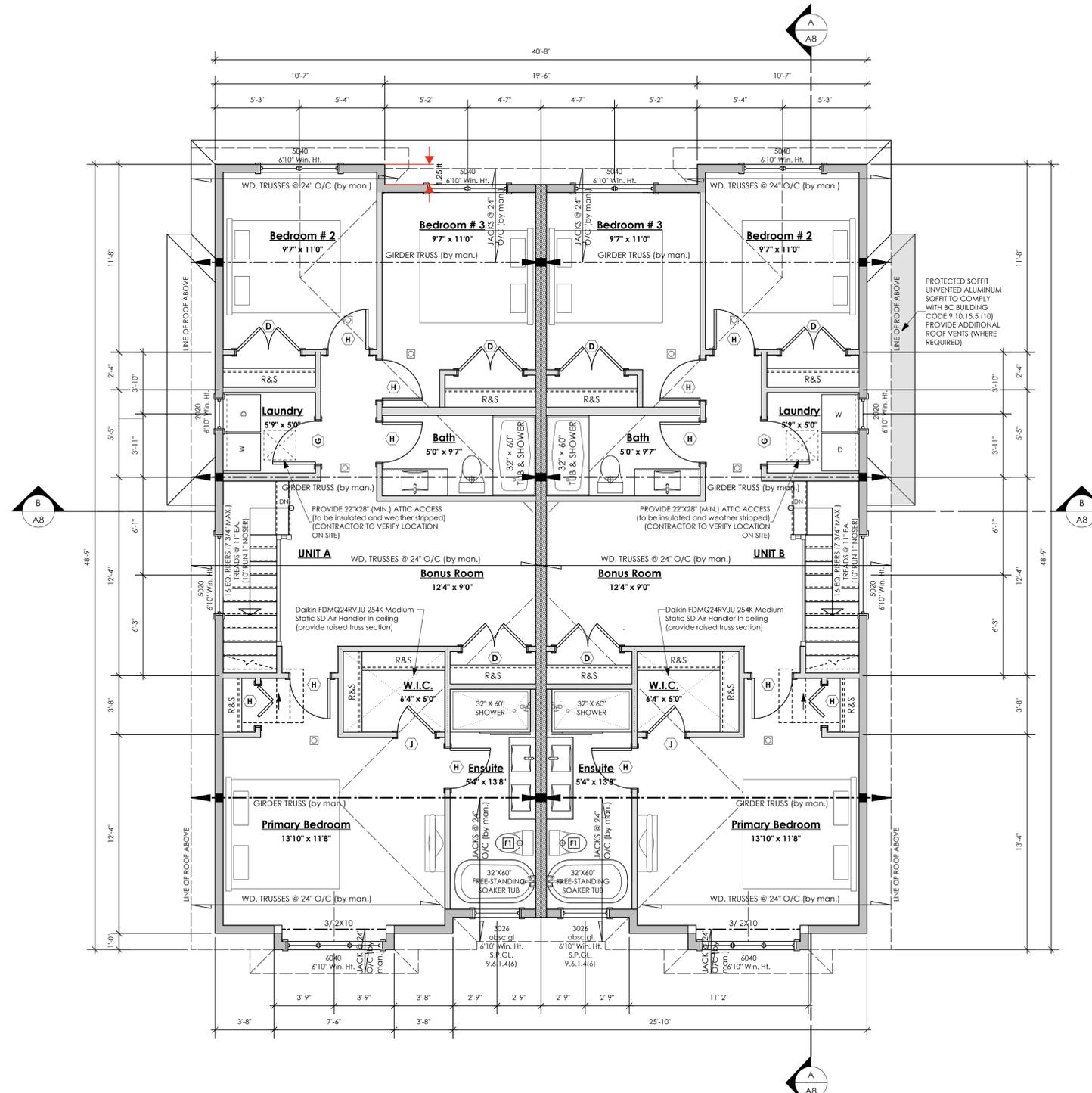
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SCALE	As Shown	SHT. NO.	A6 / A8

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PROJECT

PROPOSED RESIDENCE:
Langdon Weir Construction
Lot 26 - Latoria Terrace
2161 & 2163 Bellflower Dr.
Langford BC



1 Upper Floor Plan
A7 Scale: 1/4" = 1'-0"

UNIT A PRIMARY LIVING 84.99 SQ.M. (914.82 SQ.FT.) UNIT B PRIMARY LIVING 84.99 SQ.M. (914.82 SQ.FT.)

SYMBOLS & WALL LEGEND

- 2 X 4 INTERIOR & FURRING
- 2 X 6 EXTERIOR & INTERIOR
- RATED WALL (SEE ASSEMBLIES)
- 8" THK. CONC. FOUNDATION WALL
- 16" X 8" CONC. STRIP FOOTING
- BUILT-UP WOOD POST
- BUILT-UP WOOD POST TO SUPPORT LOAD FROM ABOVE
- POINT LOAD ON BEAM FROM ABOVE

DOOR SCHEDULE

- | | |
|-----|----------------------|
| (F) | 210 X 68 (34" X 80") |
| (A) | 80 X 68 (96" X 80") |
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WINDOWS & DOORS

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Refer to general notes
 Interconnected Smoke detectors to comply with BCBC 9.10.19.
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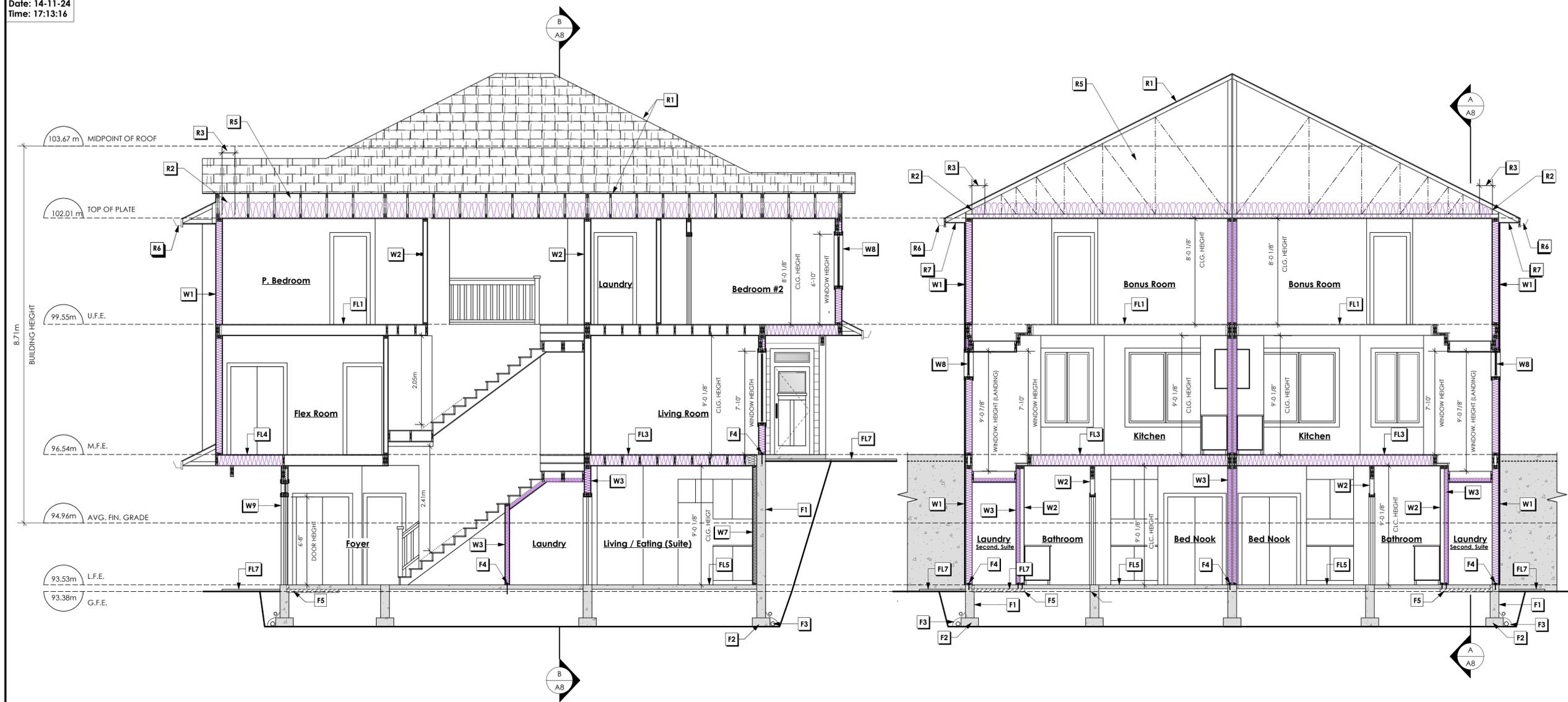


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PROJECT
 PROPOSED RESIDENCE:
 Langdon Weir Construction
 Lot 26 - Latoria Terrace
 2161 & 2163 Bellflower Dr.
 Langford BC



1 Section A
A8 Scale: 1/4" = 1'-0"

2 Section B
A8 Scale: 1/4" = 1'-0"

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 5/8" ORIENTED STRAND BOARD WD TRUSSES (DESIGNED BY MANUF.) R-40 FIBRE GLAS BATT INSULATION OR 14 1/2" FIBRE GLASS BATT INSULATION (ALLOW FOR SETTLING) 6 MIL POLYN V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-20 INSULATION AND SHEATHING. (min. R-20 @ roof-wall connection for 4'-0" (1.2m) around perimeter of building, air ventilation baffles to be installed where required in as per BCBC 9.19.)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL. (BCBC 9.26.5)
- R5. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1) (NOT SHOWN IN SECTION)
- R6. PRE- FN. ALUMINUM FASCIA GUTTER 2"x8" FASCIA BD. 2"x4" SUB. FASCIA BD. VENTED ALUMINUM SOFFIT (see contractor) NOT SHOWN IN SECTION
- R7. PRE- FN. ALUMINUM FASCIA GUTTER 2"x8" FASCIA BD. 2"x4" SUB. FASCIA BD. UNVENTED ALUMINUM SOFFIT TO COMPLY W/ B.C. BLDG. CODE 2024 9.10.15.5.(11) (verify material with contractor)

Floors

- FL1. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) 1/2" GYPSUM BOARD
- FL2. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) R-31 INSULATION 5/8" X-TYPE GYPSUM BOARD (between garage and living space) (not shown in section)
- FL3. B.C. BUILDING CODE 2024 (TABLE A-9.10.3.1.B) RATED FLOOR ASSEMBLY F9d FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) R-28 INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" X-TYPE GYPSUM BOARD 1 HOUR F.R.R., 54 S.T.C., (BETWEEN SUITE & PRIMARY LIVING)
- FL4. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2x10 FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W VENTED SOFFIT (to owners spec) TO ALL SUSPENDED FLOOR AREAS

- FL5. 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL
- FL6. 3 1/2" CONCRETE SLAB 6 MIL POLYN V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1" (not shown in section)
- FL7. EXPOSED AGG. FIN. 3.5" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND (porch & patio)

Walls

- W1. CONC. FIBRE BOARD ON 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 1/2" ORIENTED STRAND BOARD 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (refer to details on D1)
- W2. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH OR ONE SIDE OF 2x4 STUDS @ 16" o/c OR 2x6 STUDS @ 16" o/c (if noted)
- W3. B.C. BUILDING CODE 2024 (TABLE 9.10.3.1.A) RATED WALL ASSEMBLY W3c 1 LAYER 1/2" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (IF NOTED) RESILIENT METAL CHANNELS ON ONE SIDE @ 400mm OR 600mm O.C. C/W 3 1/2" FIBRE GLASS SOUND BATT FRICTION FITTED AND SOLID FILLED 45 MIN. F.R.R., 43 S.T.C. (BETWEEN PRIMARY LIVING & SECONDARY SUITE)
- W4. B.C. BUILDING CODE 2024 (A-9.10.3.1.A) RATED WALL ASSEMBLY EW2a CONC. FIBRE BOARD ON 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 5/8" ORIENTED STRAND BOARD 2x6 STUDS @ 16" O/C R-20 INSULATION 6 MIL POLYN V.B. 5/8" X-TYPE GYPSUM BOARD (NOT SHOWN IN SECTION)

- W5. PRE-MANUFACTURED BRICK VENEER (installed to manuf. spec) LIME BASED MORTAR SETTING BED ON LIME BASED MORTAR SCRATCH COAST ON METAL LATHE INSTALLED HORIZONTALLY OVERLAP HORIZONTAL AND VERTICAL SEAMS 1" SEMI-RIGID BACK BOARD (HAL-TEX RAINBOARD OR EQ.) 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"x2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 2x6 STUDS @ 16" (as required) R-20 INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (at living space) (not shown in section)
- W6. 5/8" X-TYPE GYPSUM BOARD ON 2x6 STUDS @ 16" o/c c/w R-20 INSULATION 6MIL POLYN V.B 1/2" GYPSUM BOARD (between garage & PRIMARY LIVING) (not shown in section)
- W7. 1/2" GYPSUM BOARD ON 6 MIL POLYN V.B. 2x4 STUDS @ 24" o/c c/w R-12 BATT INSULATION 2 PLY 30 MINUTE BUILDING PAPER OR 12.7mm (1/2") AIR SPACE (provide required firestops in wall assemblies to comply with B.C. Bldg. Code 9.10.16.) (not shown in section)

- W8. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2"x10" UNITE OVER (@ BEARING WALLS ONLY) (TYPICAL W/ 2 1/2" XPS INSULATION) FLASHING OVER @ EXTERIOR (GLAZING IN ALL EXTERIOR DOORS & WITHIN 3 FT. OF EXTERIOR DOORS 1/8 SHATTERPROOF) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-5 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF AAMA/WDMA/CSA 1011.5.2/A440, "NAFS"; Longford, CLASS R, DR P40, PG 20, WATER RESIST. 220, A2, RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
- W9. 10" X 10" (fin.) FRAMED COLUMN CONCEALING A 6" X 6" WD. POST ANCHORED TO 8" THK. CONC. FNDN WALL C/W 15 M BARS @ 24" o/c B/W 16"x8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING) (not shown in section)
- W10. 6" X 6" WOOD POST ANCHORED TO 10" DIA. CONC. PEDESTAL ON 30" X 30" X 10" CONC. PAD PTG C/W 3/15 METAL BARS BOTH WAYS ON UNDISTURBED SOIL (SOLID BEARING) (not shown in section)

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W
- F2. 16"x8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2m) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY OR VERTICALLY FOR SLABS ABOVE FROST LINE. (verify with municipality depth of frost line)

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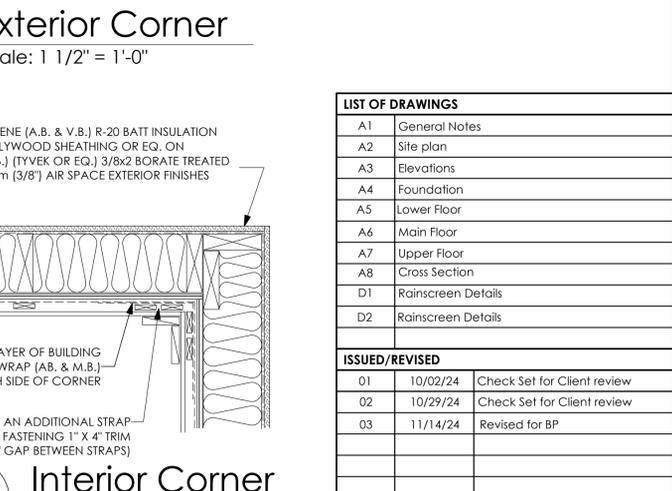
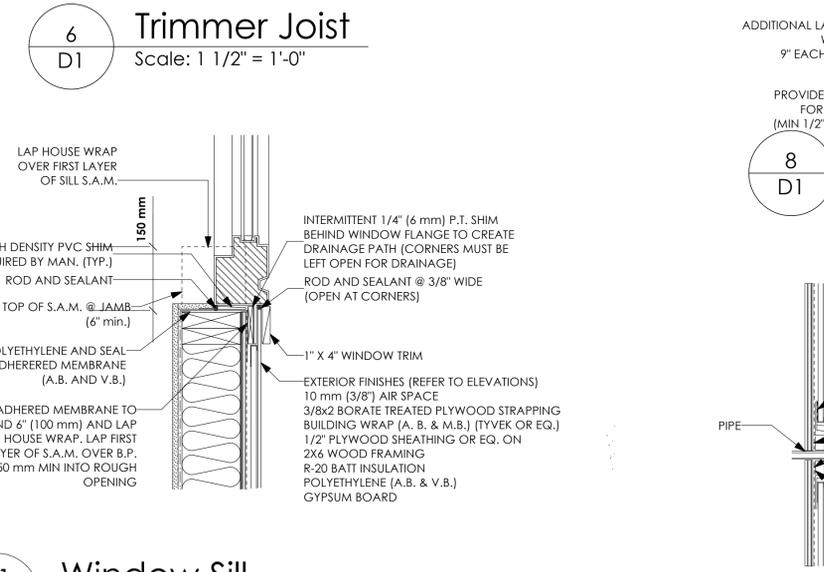
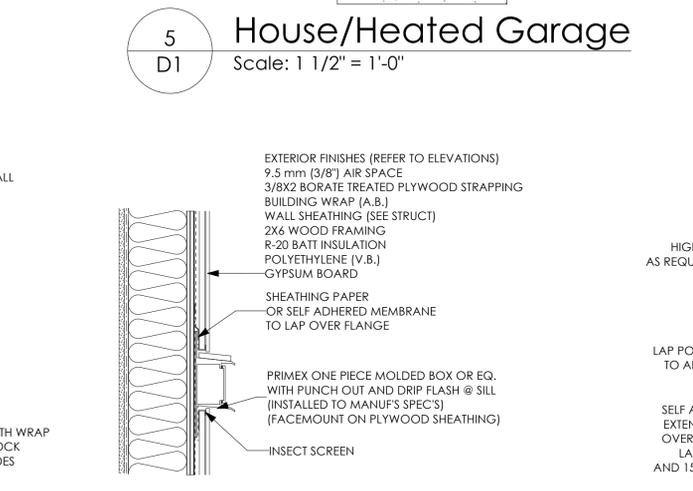
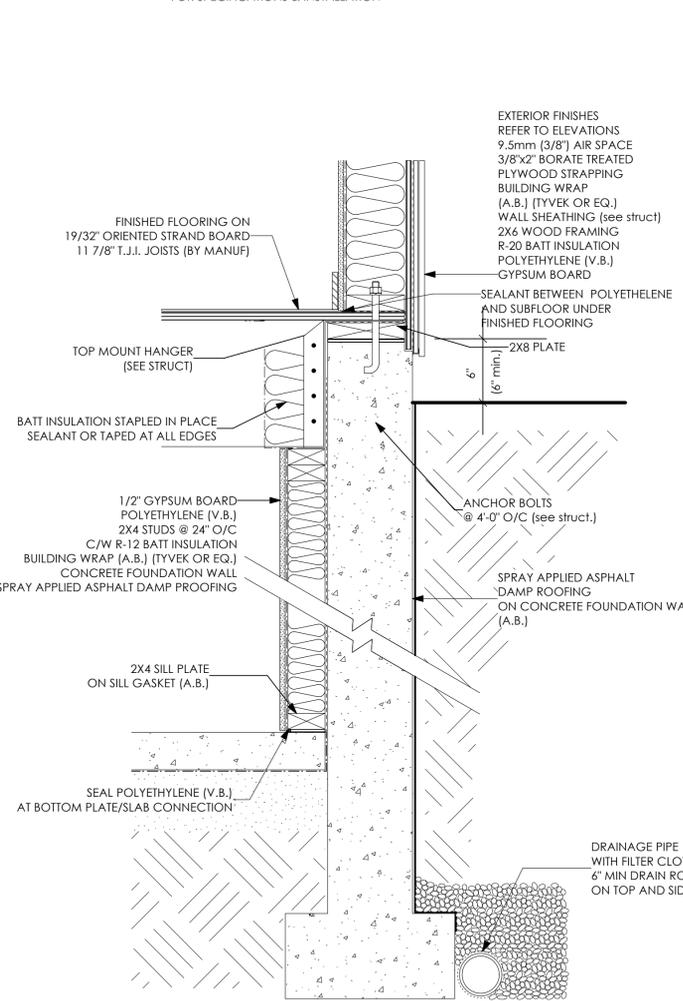
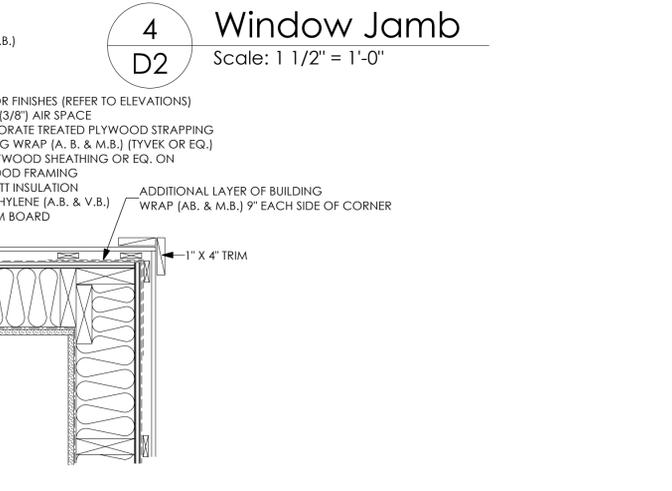
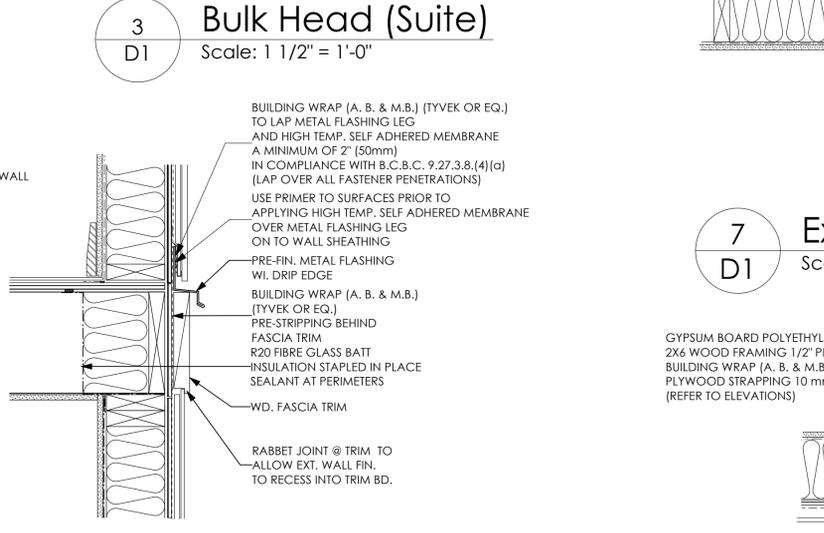
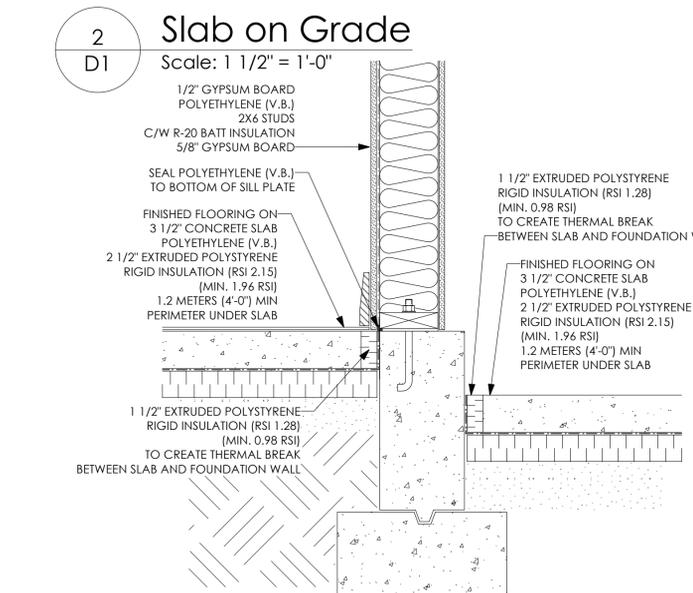
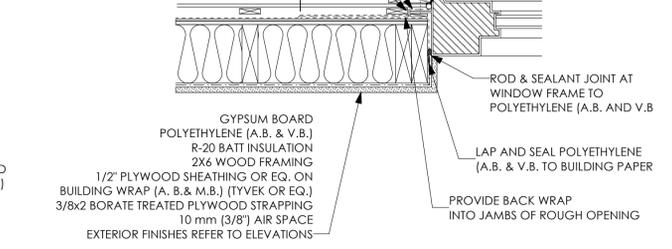
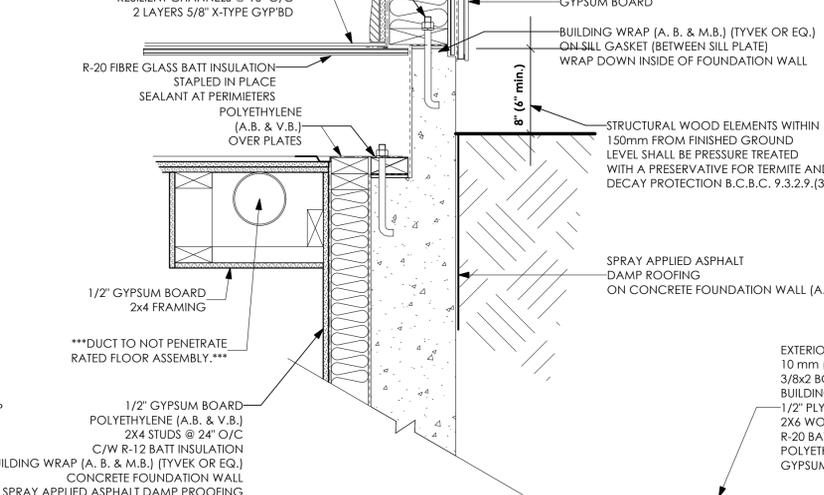
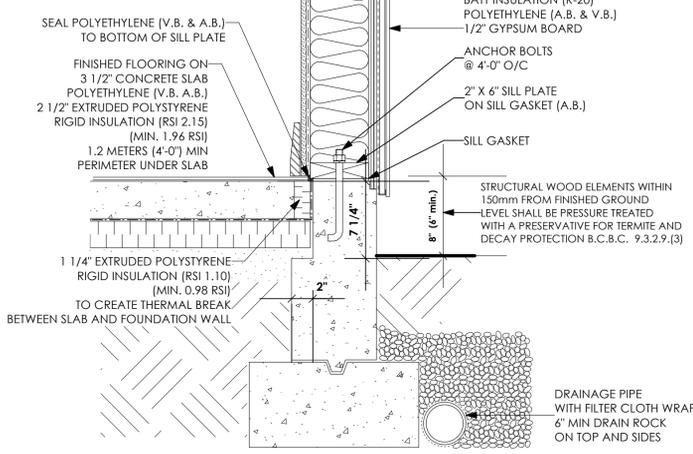
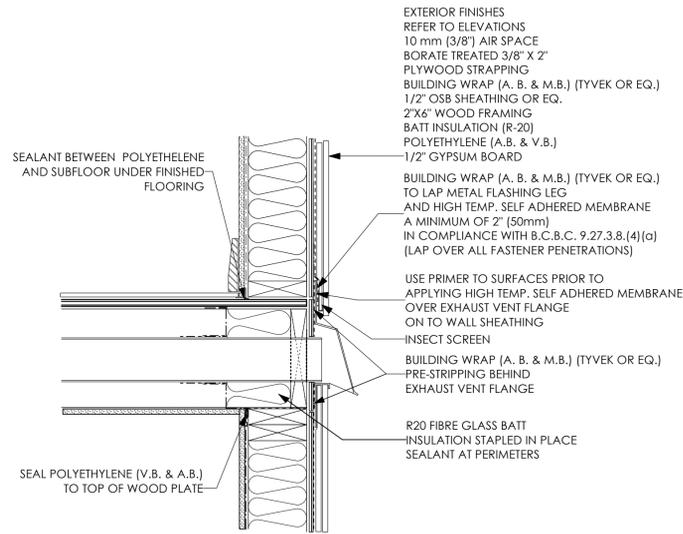
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DATE	NO.	DESCRIPTION
Nov 13, 2024	8524 - 26	

SCALE	SHT. NO.	REVIEWED BY
As Shown	A8 / A8	NS

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PROJECT
PROPOSED RESIDENCE:
Langdon Weir Construction
Lot 26 - Latoria Terrace
2161 & 2163 Bellflower Dr.
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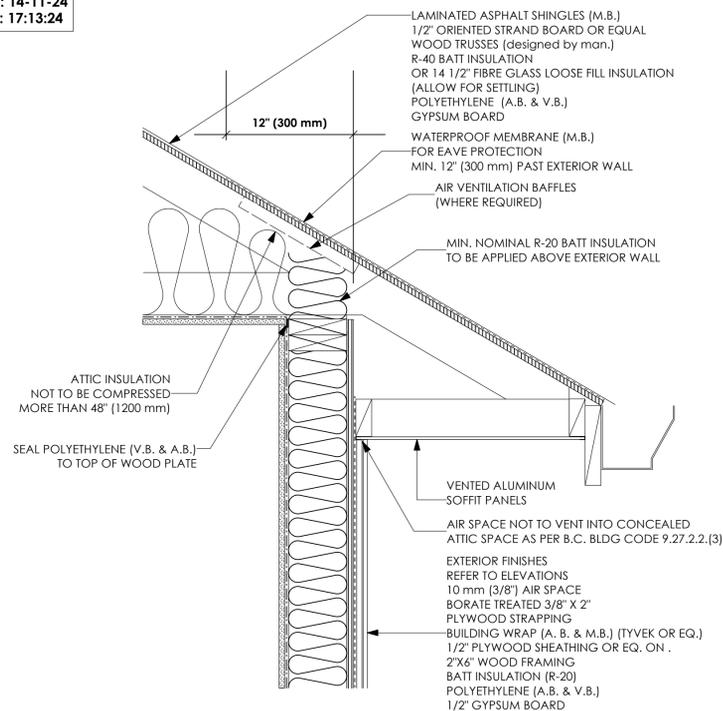
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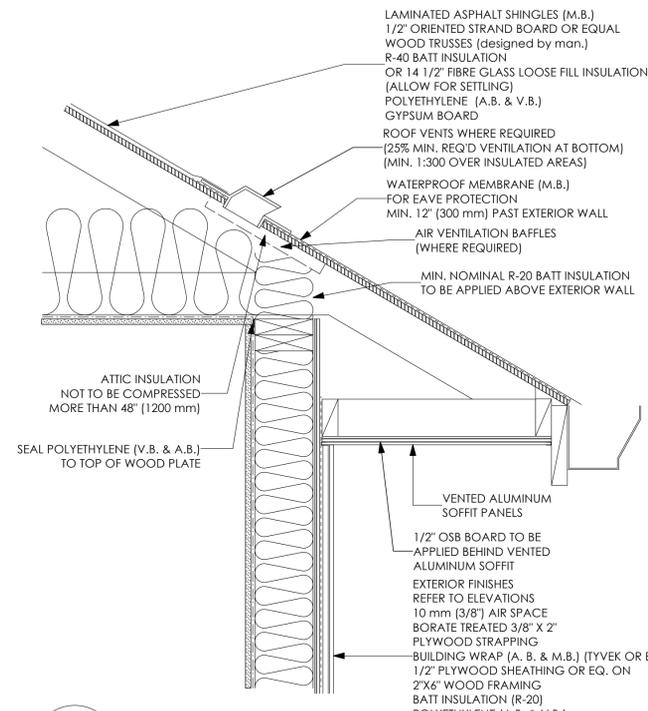
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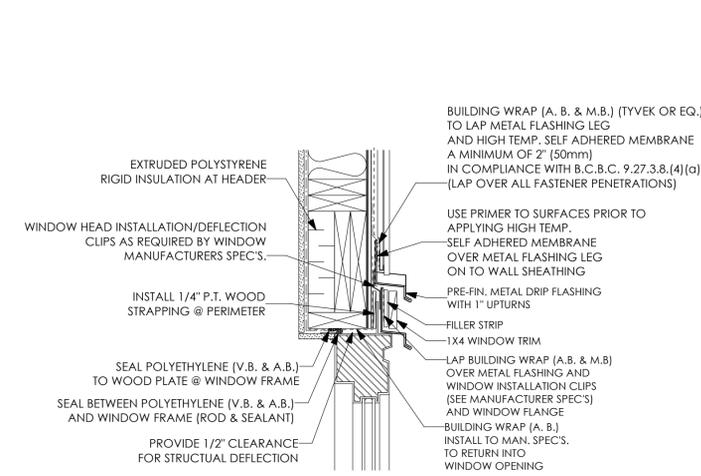
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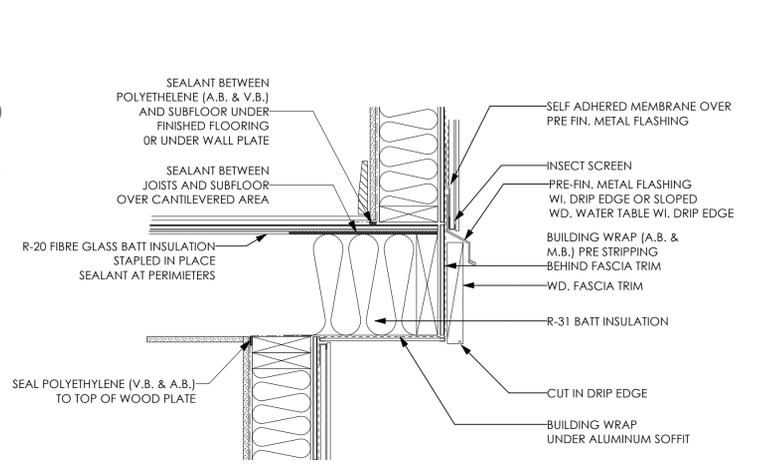
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D2
Water Shedding Roof / Wall
Scale: 1 1/2" = 1'-0"



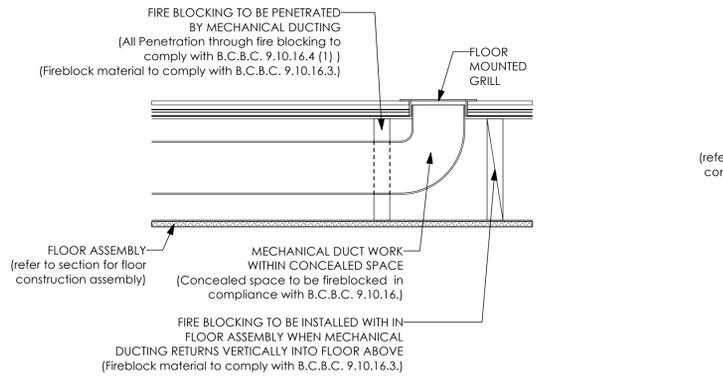
2
D2
Soffit Protection
Scale: 1 1/2" = 1'-0"
BC BUILDING CODE 9.10.15.5 (11)
(USE PROVIDED DETAIL WHEN ROOF OVERHANG IS WITHIN 1.20M OF PROPERTY LINE)



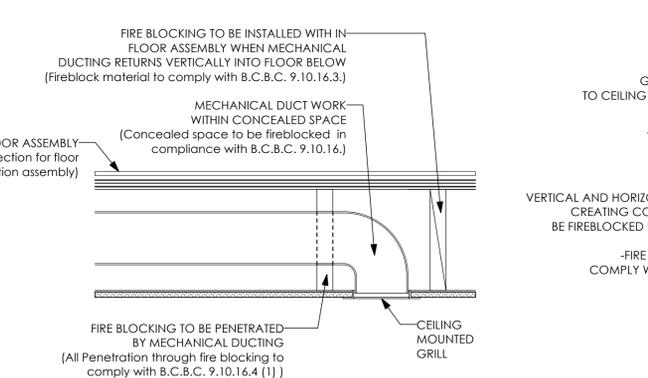
3
D2
Window Head
Scale: 1 1/2" = 1'-0"



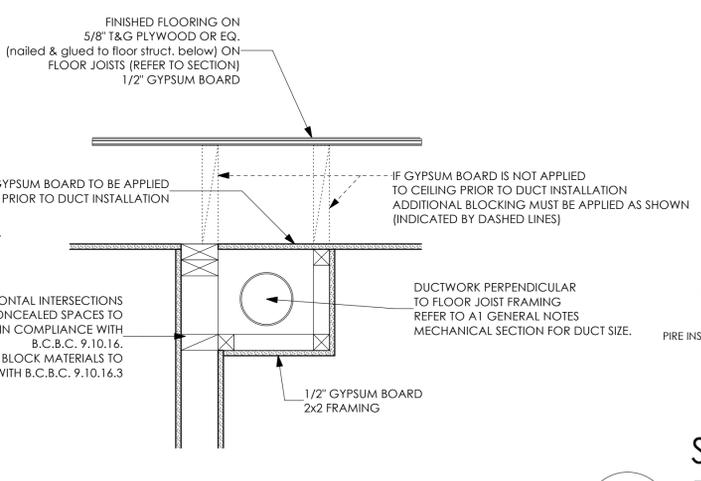
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D2
Cantilevered Floor
Scale: 1 1/2" = 1'-0"



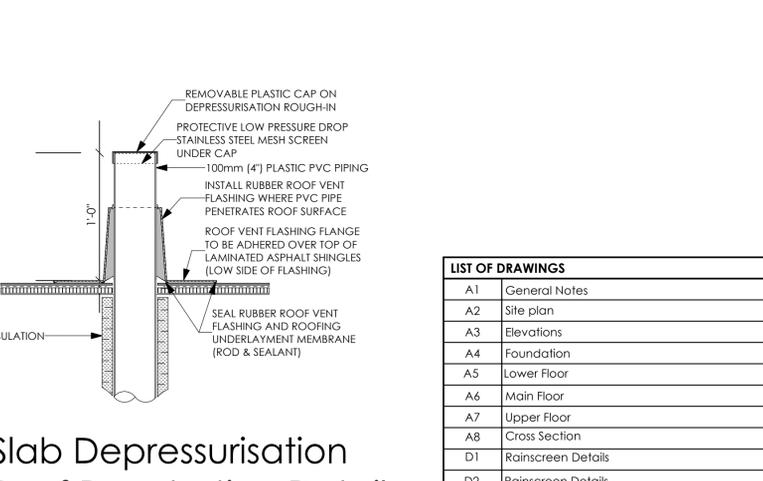
5
D2
Fire Blocking Within Floor Detail A
Scale: 1 1/2" = 1'-0"



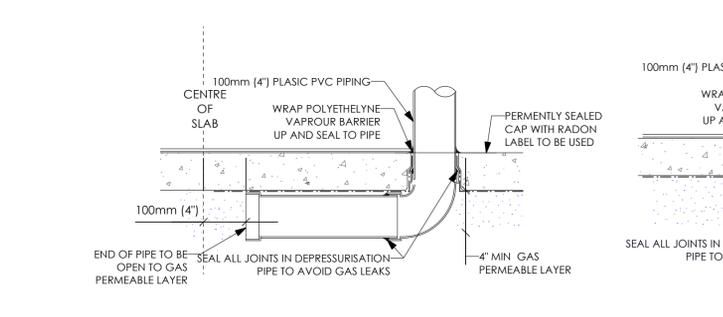
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D2
Fire Blocking Within Floor Detail B
Scale: 1 1/2" = 1'-0"



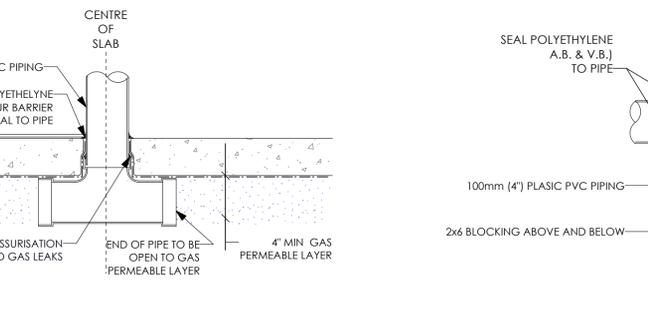
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D2
Fire Blocking Bulkheads
Scale: 1 1/2" = 1'-0"



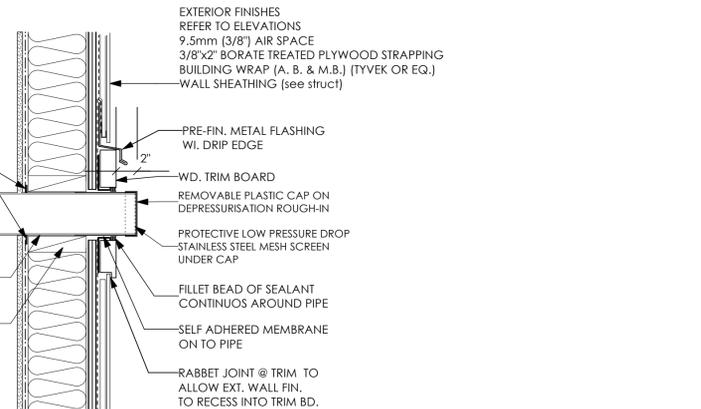
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D2
Slab Depressurisation Roof Penetration Detail
Scale: 1 1/2" = 1'-0"



9
D2
Slab Depressurisation A
Scale: 1 1/2" = 1'-0"



10
D2
Slab Depressurisation B
Scale: 1 1/2" = 1'-0"



11
D2
Slab Depressurisation Exterior Wall Penetration
Scale: 1 1/2" = 1'-0"

LIST OF DRAWINGS	
A1	General Notes
A2	Site plan
A3	Elevations
A4	Foundation
A5	Lower Floor
A6	Main Floor
A7	Upper Floor
A8	Cross Section
D1	Rainscreen Details
D2	Rainscreen Details

ISSUED/REVISED	
01	10/02/24 Check Set for Client review
02	10/29/24 Check Set for Client review
03	11/14/24 Revised for BP

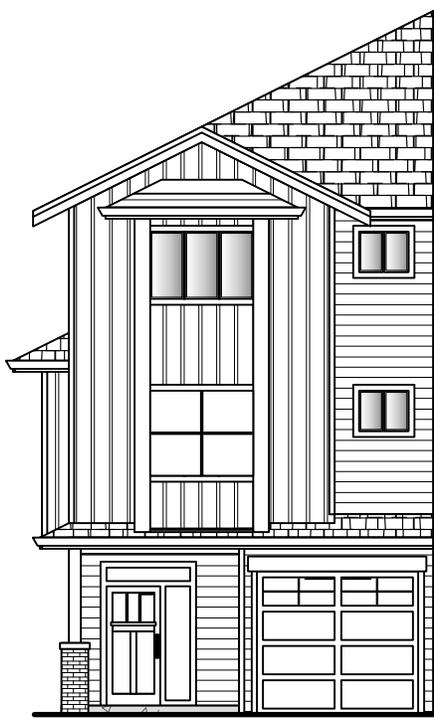


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Victoria, B. C. F. 250.382.7364
V9B 2T9 www.victoriadesigngroup.ca

DATE	NO.	DRWG NO.
Nov 13, 2024		8524 - 26
	PN	NS
	As Shown	D2 / D2

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PROJECT
PROPOSED RESIDENCE:
Langdon Weir Construction
Lot 26 - Latoria Terrace
2161 & 2163 Bellflower Dr.
Langford BC



LATORIA

TERRACE

2163 Bellflower Dr. (Lot 26)



*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only.

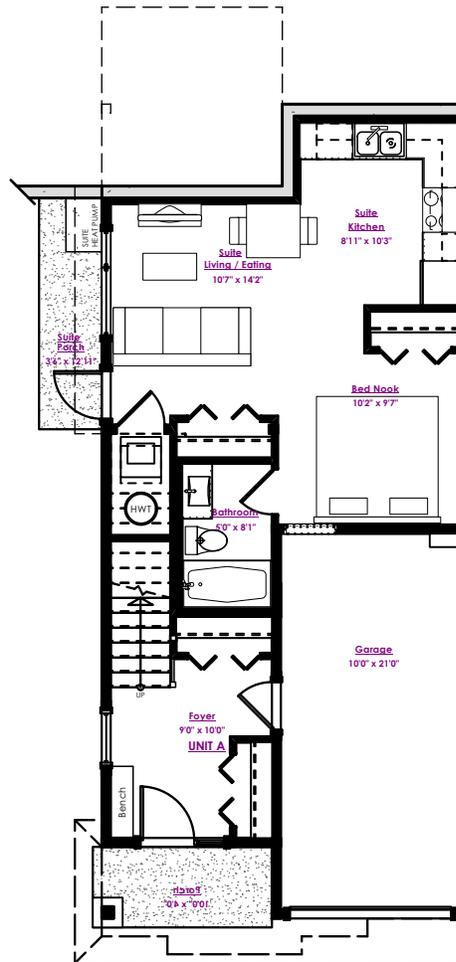
Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval.

Retaining Wall construction types:

- Non-mortared boulder wall
- Concrete Cast in place wall
- Pre-cast masonry landscape wall

Retaining walls will be designed, placed and constructed in the sole discretion of the developer.

Furniture as shown on plans are for layout purposes only and are not included in the sale.



Lower Floor

UNIT A

PRIMARY LIVING: 11.88 sq.m. (127.88 sq.ft.)
 SECONDARY SUITE: 40.46 sq.m. (435.51 sq.ft.)
 TOTAL LIVING: 52.34 sq.m. (563.38 sq.ft.)

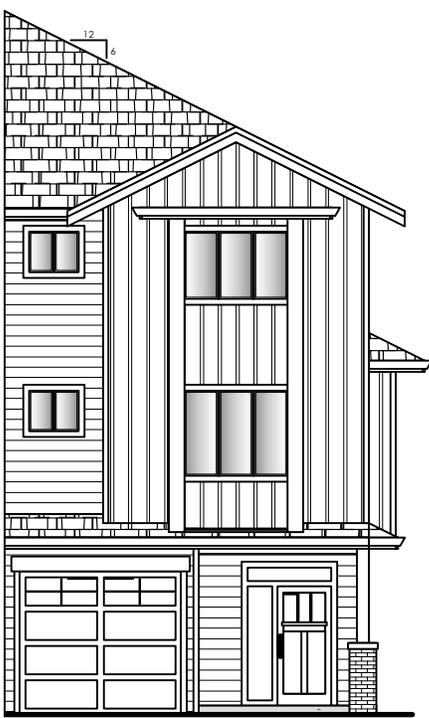
GARAGE: 21.45 sq.m. (230.89 sq.ft.)

LIVING AREA UNIT A

Primary: 178.25 sq.m. (1918.67 sq.ft.)
 Suite: 40.46 sq.m. (435.51 sq.ft.)
 Total: 218.71 sq.m. (2354.17 sq.ft.)

OTHER

Garage: 21.45 sq.m. (230.89 sq.ft.)



LATORIA

TERRACE



2161 Bellflower Dr. (Lot 26)

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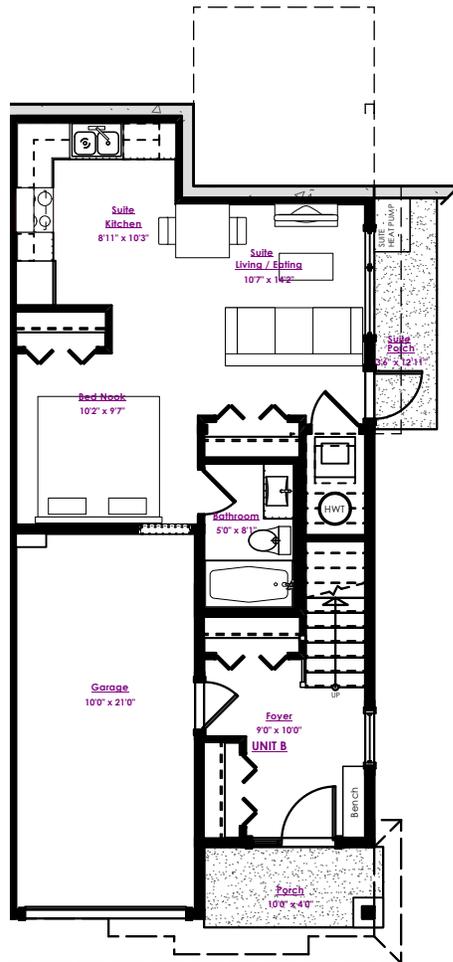
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- Concrete Cast in place wall
- Pre-cast masonry landscape wall

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Furniture as shown on plans are for layout purposes only and are not included in the sale.



Lower Floor

UNIT B

PRIMARY LIVING: 11.88 sq.m. (127.88 sq.ft.)
 SECONDARY SUITE: 40.46 sq.m. (435.51 sq.ft.)
 TOTAL LIVING: 52.34 sq.m. (563.38 sq.ft.)

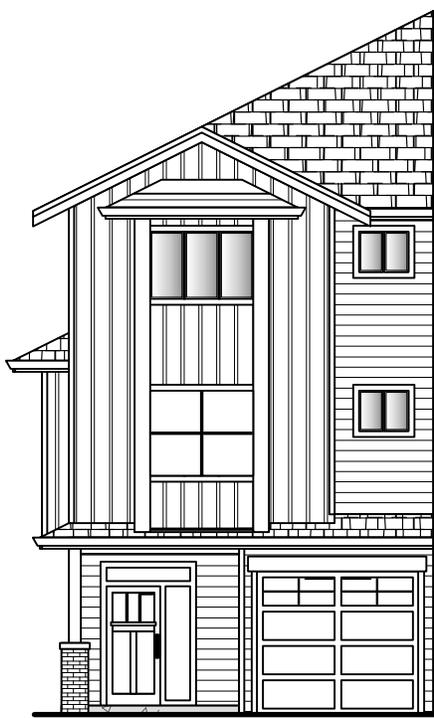
GARAGE: 21.45 sq.m. (230.89 sq.ft)

LIVING AREA UNIT B

Primary: 178.25 sq.m. (1918.67 sq.ft.)
 Suite: 40.46 sq.m. (435.51 sq.ft.)
 Total: 218.71sq.m. (2354.17 sq.ft.)

OTHER

Garage: 21.45 sq.m. (230.89 sq.ft.)



LATORIA

TERRACE



2163 Bellflower Dr. (Lot 26)

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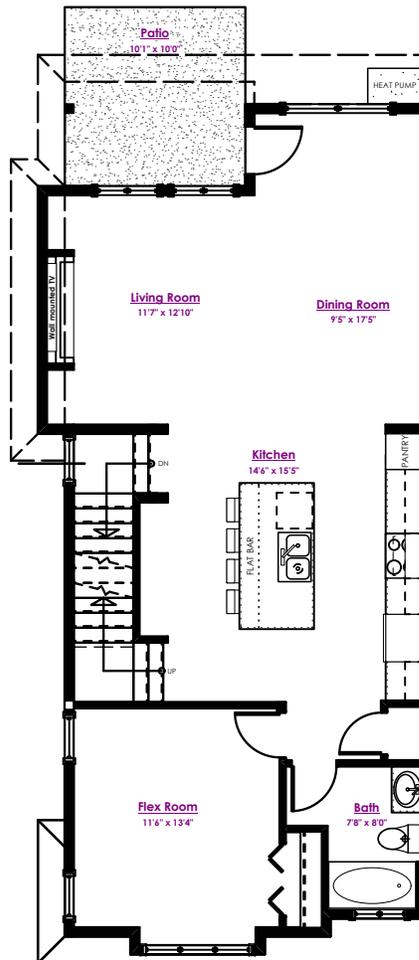
Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval.

Retaining Wall construction types:

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Main Floor

UNIT A

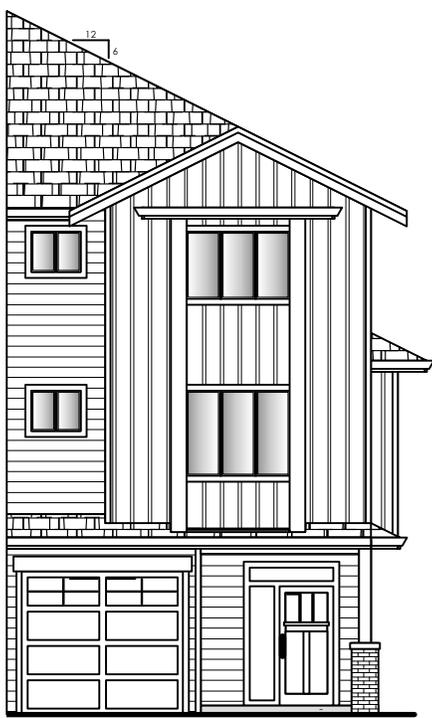
PRIMARY LIVING: 81.38 sq.m. (875.97 sq.ft.)

LIVING AREA UNIT A

Primary:	178.25 sq.m. (1918.67 sq.ft.)
Suite:	40.46 sq.m. (435.51 sq.ft.)
Total:	218.71sq.m. (2354.17 sq.ft.)

OTHER

Garage: 21.45 sq.m. (230.89 sq.ft.)



LATORIA

TERRACE

2161 Bellflower Dr. (Lot 26)

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only.

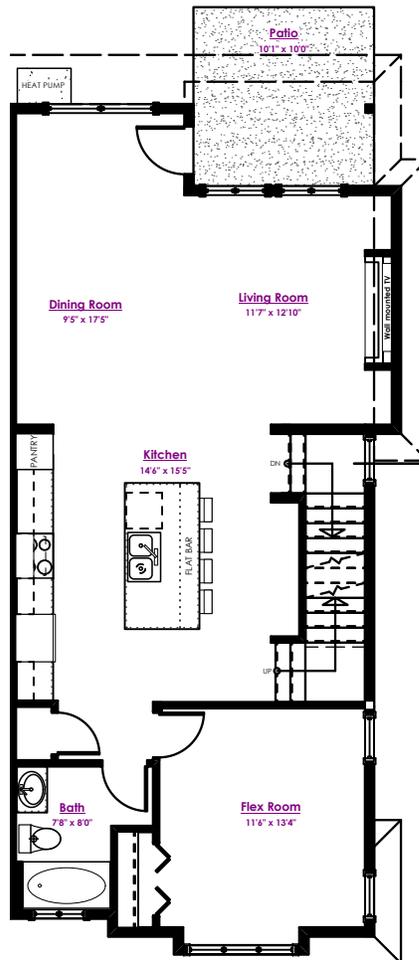
Sizes and dimensions are approximate and may vary with actual plan and survey. Exterior style may change pending municipal approval.

Retaining Wall construction types:

- Non-mortared boulder wall
- Concrete Cast in place wall
- Pre-cast masonry landscape wall

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Furniture as shown on plans are for layout purposes only and are not included in the sale.



Main Floor

UNIT B

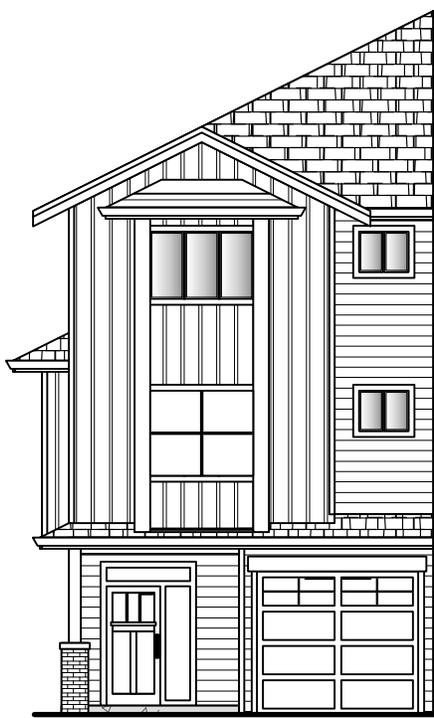
PRIMARY LIVING: 81.38 sq.m. (875.97 sq.ft.)

LIVING AREA UNIT B

Primary:	178.25 sq.m. (1918.67 sq.ft.)
Suite:	40.46 sq.m. (435.51 sq.ft.)
Total:	218.71sq.m. (2354.17 sq.ft.)

OTHER

Garage:	21.45 sq.m. (230.89 sq.ft.)
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LATORIA

TERRACE



2163 Bellflower Dr. (Lot 26)

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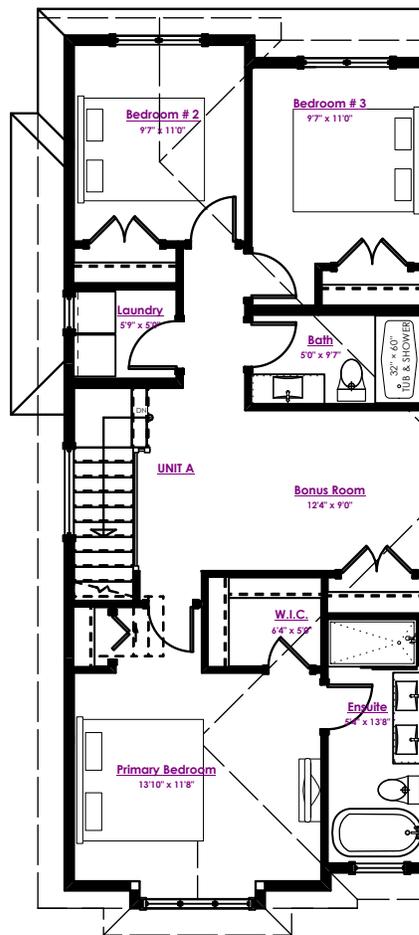
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Upper Floor

UNIT A

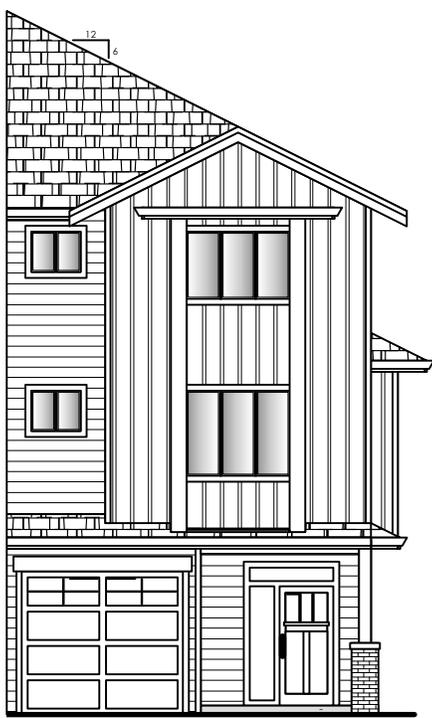
PRIMARY LIVING: 84.99 sq.m. (914.82 sq.ft.)

LIVING AREA UNIT A

Primary:	178.25 sq.m. (1918.67 sq.ft.)
Suite:	40.46 sq.m. (435.51 sq.ft.)
Total:	218.71sq.m. (2354.17 sq.ft.)

OTHER

Garage:	21.45 sq.m. (230.89 sq.ft.)
---------	-----------------------------



LATORIA

TERRACE

2161 Bellflower Dr. (Lot 26)

*NOTE: In the interest of maintaining high standards, the developer reserves the right to modify plans, specifications and design without prior notice. Drawings contained within are artist renderings only.

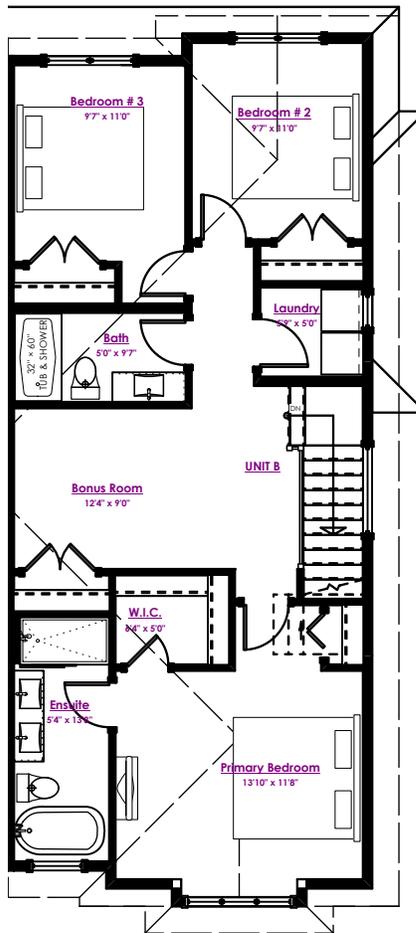
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- Non-mortared boulder wall
- Concrete Cast in place wall
- Pre-cast masonry landscape wall

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Main Floor

UNIT B

PRIMARY LIVING: 84.99 sq.m. (914.82 sq.ft.)

LIVING AREA UNIT B

Primary:	178.25 sq.m. (1918.67 sq.ft.)
Suite:	40.46 sq.m. (435.51 sq.ft.)
Total:	218.71sq.m. (2354.17 sq.ft.)

OTHER

Garage:	21.45 sq.m. (230.89 sq.ft.)
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